

Ordinance 2021-2

AN ORDINANCE ESTABLISHING REGULATIONS FOR BUILDING, DEMOLITION, AND THE ISSUANCE OF RELATED PERMITS. TO ESTABLISH AND ALLOW A PERMIT COMMITTEE TO APPROVE OR DENY BUILDING PERMIT APPLICATIONS AND TO PERFORM INSPECTIONS AS PER PERMIT SPECIFICATIONS, AND A MEANS FOR PUBLIC DISPLAY OF APPROVED BUILDING PERMITS AT BUILDING SITES.

Any person or persons desiring replacement of, or addition to an existing structure, construction of a new structure, or placement of a manufactured or modular structure or mobile home, shall be required to receive approval by the Town of Iliff Board of Trustees (hereafter "Town Board") prior to the beginning of any such project.

Section 1: Information to be furnished to the Town Board, prior to approval, shall include, but not be limited to:

- A. An Improvement Location Certificate, survey prepared by a licensed surveyor, or map showing locations of relevant property pins;
- B. Drawing showing the location of the proposed improvements relative to lot lines, streets, alleys, easements, rights of way, and other improvements;
- C. A copy of the plans and specifications for the work to be done;
- D. An estimated time period for completion of the project; and
- E. Other information reasonably necessary for the Town Board or permit committee to issue a building permit.

Section 2: When a new home is proposed to be constructed on a parcel, such structure shall meet construction and safety standards and shall meet acceptable similarity in appearance standards as follows:

- A. The home shall be of average quality or greater in quality and design. It shall also be of conventional design for the area where it is located. Subterranean, geodesic, and homes constructed of recycled materials shall not be permitted.
- B. The setback from each property line shall be a minimum of six (6) feet.
- C. There may only be one (1) habitable residence per fifty (50) foot by one hundred (100) foot lot.

Section 3: When a manufactured or mobile home is proposed to be placed or installed on a parcel, such structures shall meet construction and safety standards, and shall meet similarity appearance standards as follows:

- A. Manufactured homes (single wide) shall not be less than sixteen (16) feet in body width and fifty (50) feet in body length. Anything smaller than these dimensions requires approval from the Building Committee or Town Board.

- B. Manufactured homes (double wide) shall not be less than twenty four (24) feet in body width and forty five (45) feet in body length. Anything smaller than these dimensions requires approval from the Building Committee or Town Board.
- C. It shall have the appearance of traditional site-built homes having bricks, wood, stucco, or cosmetically equivalent exterior siding.
- D. A manufactured home shall have a shingled or metal roof with a minimum roof pitch of three in twelve (3:12).
- E. A manufactured home being considered for placement shall not be more than 15 years old when the building permit is issued, and must be in habitable condition upon delivery.
- F. Single wide and double wide manufactured homes shall both meet the following minimum requirements for tie downs (Double wide manufactured homes need only the diagonal tie downs.):

Home length (feet)	Number of Vertical Ties Per Side	Number of Diagonal Ties Per Side
Up to 54 feet	2	3
54 to 73 feet	2	4
73 to 84 feet	2	5

- G. All manufactured home stands shall provide adequate support for the placement of the homes and shall be provided with anchors and tie downs such as cast-in-place concrete "deadman" eyelets embedded in concrete slabs or runways, screw augers, arrowhead anchors, or other devices to be used to stabilize the home.
- H. Within sixty (60) days of moving a manufactured home onto a parcel, skirting shall be installed which completely encloses the space beneath the home unless the home is placed on a permanent foundation with no space between the home and the foundation. Readily open able access panels or doors shall be installed to permit entrance for servicing utility connections. The skirting shall at a minimum be constructed of material which are the same or similar in design, texture, and color as the exterior material used in the construction of the home. The skirting shall not be permanently attached to the ground or used to anchor the home.

Section 4: When a structure secondary to the main dwelling is proposed to be constructed or placed on a parcel, such structure shall be certified as meeting construction and safety standards, and shall meet acceptable similarity in appearance standards as follows:

- A. It shall be constructed of materials which are of average to above average in quality and design.
- B. The setback from each property line shall be a minimum of six (6) feet.

Section 5.

A. Additional standards shall be enforced in compliance with the regulations provided in the Uniform Building Code, 2021 edition.

B. All structures must meet flood resistance standards as described in Town of Iliff Ordinance 1984-3.

Section 6. Any person or persons proposing to demolish a building must apply for a Demolition Permit. The following information must be furnished to the Town Board prior to approval: test results proving presence or absence of asbestos throughout all parts of the structure to be involved in the demolition, and waste management plan for the waste to be produced by the demolition.

Section 7. Members of the Permit Committee are hereby given the authority to receive Building and Demolition Permit Applications, which they may approve or disapprove in accordance with this ordinance. If deemed necessary by the Permit Committee members, they may refer an application back to the entire Town Board for approval.

Section 8. Members of the Permit Committee are hereby given the authority to perform on site inspections in order to verify compliance with the issued permit.

Section 9. Building and Demolition Permit Application fees will be established separately by resolution. All application fees are non-refundable.

Section 10.

A. A "BUILDING PERMIT" notice will be provided by the Town Board, upon application approval, and shall be posted in a visible manner for public viewing during the construction period, or until the permit expires, whichever comes first. The expiration date and permit number will be included on the posted notice.

B. Should a permit expire prior to construction completion, a thirty (30) day grace period may be granted by the Permit Committee with no additional fees assessed. Unfinished construction requiring more than thirty (30) additional days to complete will be reviewed by the Permit Committee or Town Board on a case by case basis.

Section 11. No structure or improvement may be used on a permanent basis until a Certificate of Occupancy is granted by the Permit Committee or Town Board. Such certificate shall not issue until all required fees are paid, all inspections are completed, approval has been granted by other authorities such as electrical and plumbing inspectors, and the structure or improvement is otherwise in compliance with this ordinance, the Uniform Building Code, and other applicable laws and regulations.

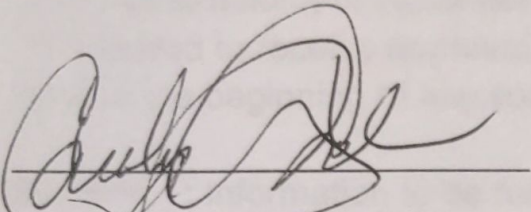
Section 12. Whenever the Town Board finds a violation of any provisions of this ordinance, the person(s) responsible for the violation will be notified in writing and shall be ordered to perform any necessary corrections within a time frame established by the Permit Committee or the Town Board.

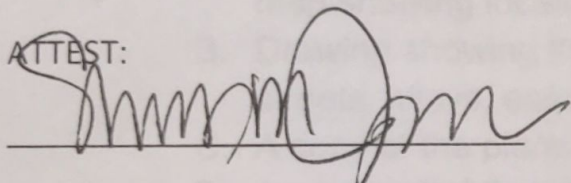
Failure to comply with the ordinance regulations may result in the issuance of a citation from the Town Board. All usual fines, court appearances, and remediation required by a citation are applicable.

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ALL PRIOR ORDINANCES, OR PARTS OF ORDINANCES, AND RESOLUTIONS, OR PARTS OF RESOLUTIONS, ARE TO BE CONSIDERED REPEALED AS OF ENACTMENT OF THIS ORDINANCE.

INTRODUCED AND FIRST READ ON THE 26 DAY OF Oct, 2021.


CAROLYN JACKSON, MAYOR

ATTEST:

SHELLY JACKSON, TOWN CLERK

SECOND READING, ADOPTED, PASSED AND ORDERED PUBLISHED by the Board of Trustees of the Town of Iliff, Colorado on the 10 day of November, 2021.